

BUILDING CONSENT

9709P

PROPERTY ID

005775



9709P

RECEIVED
CUSTOMER SERVICE
CENTRE

Address: ~~New York~~ Oatona.

Records	
Building	
Public Health	
District Planning	

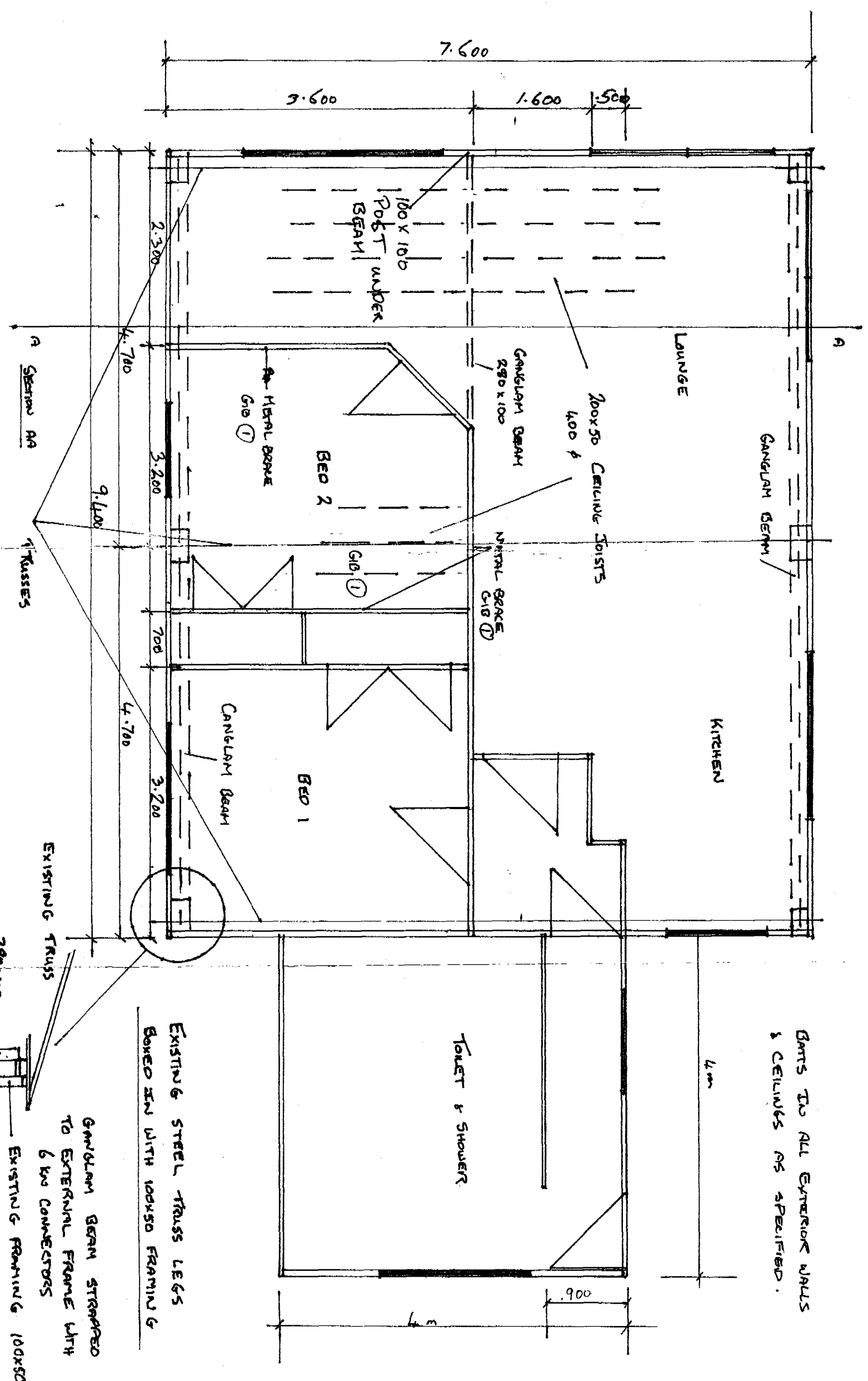
MR R WRIGHT

DONNELLY STREET DAKARA

FINAL INTERNAL LAYOUT + DETAIL FOR GRANNY FLAT

PAGE 1 OF 2

SCALE : 1:50



DOORS TO ALL EXTERIOR WALLS
+ CEILING AS SPECIFIED.

EXISTING STEEL TRUSS LEGS
BOXED IN WITH 100x50 FRAMING

EXISTING TRUSS
GANGWAY BEAM STRAPPED
TO EXTERNAL FRAME WITH
6 KN CONNECTORS
EXISTING FRAMING 100x50
LEO
2x DOUBLE STUDS IN

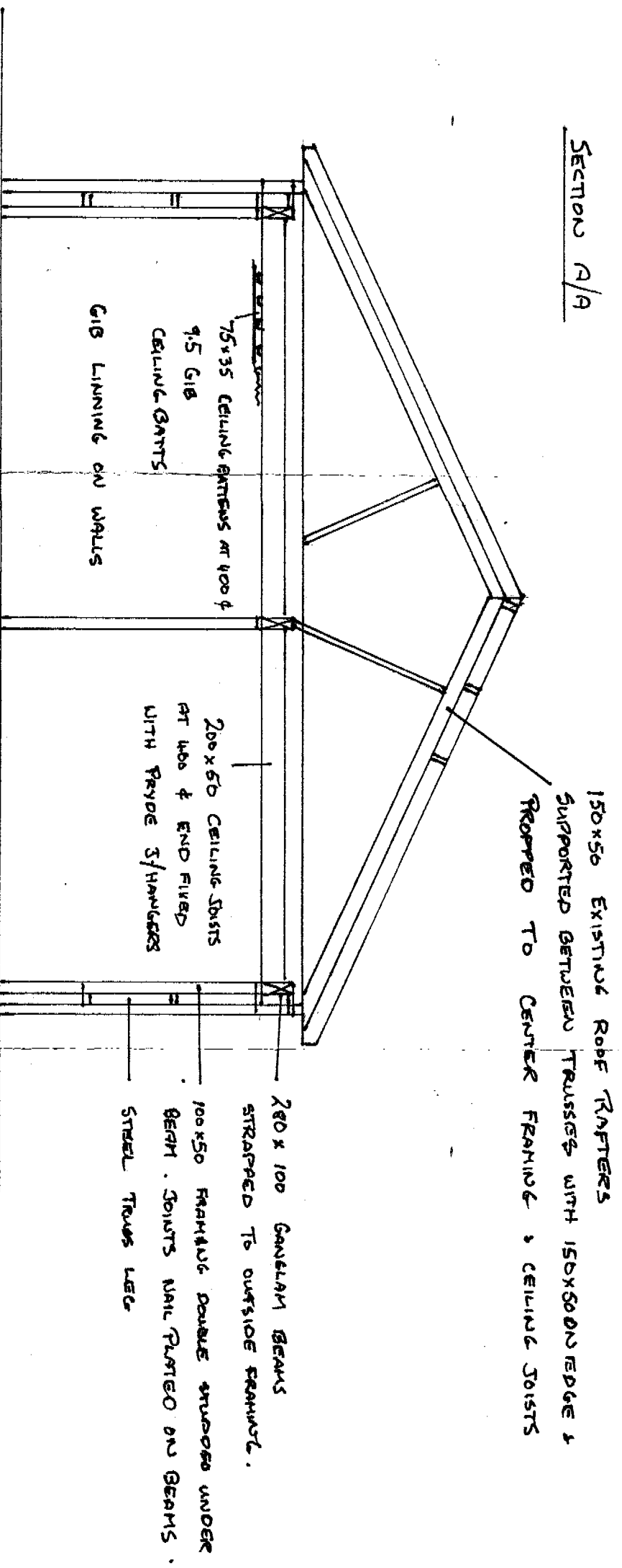
2x DOUBLE STUDS IN
GANGWAY BEAM
380x100
2x DOUBLE STUDS IN

MIR R WRIGHT

PAGE 2 OF 2

Scale 1:50

SECTION A/A



PLANNING & ENVIRONMENTAL SERVICES DEPARTMENT

AMENDMENTS

DATE: 19.8.96

JOB: _____

CONSENT NO: 9709

ADDRESS: 3 Donnelly St

Oakley

DEPARTMENT	COMMENT	NOT APPROVED DATE	APPROVED DATE
DISTRICT PLANNING			
RECORDS			
BUILDING *			<i>pd</i> <i>21.3.96</i>
PUBLIC HEALTH			
STREETWORKS			
PLUMBING & DRAINAGE			
ENVIRONMENTAL HEALTH			
STRUCTURAL			

THE CHANGES COVERED BY THIS AMENDMENT ARE:

RECOMMENDATIONS AT THE REQUEST OF THE BUILDING INSPECTOR
TO CORRECT ERRORS IN THE ORIGINAL BUILDING TRANS DUE
TO CHANGING AN EXISTING STRUCTURE TO A GARRY FAN.

SUBMITTED &
SIGNED BY: _____

DATED: 19/8/96

42 Egmont Street
P.O. Box 585
New Plymouth
New Zealand
Phone (06) 758-7273
Fax (06) 758-6307

Chapman Oulsnam Speirs Limited

ENGINEERS AND ARCHITECTS

Our Ref: 4479

26 July 1996

Mr Wright
1 Donnelly Street
OAKURA

AMENDMENT

Dear Sir

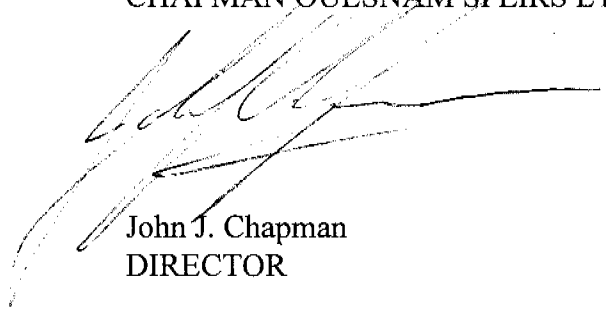
RE: REMEDIAL TO GRANNY FLAT

Enclosed please find report and drawings for remedial works covering areas of concern raised by Building Inspector.

I trust this satisfies the Inspector, I have not discussed with Council as you wished to see proposal first.

If you have no problems please forward to Council directly and do not hesitate to call if you require any further information.

Yours faithfully
CHAPMAN OULSNAM SPEIRS LTD


John J. Chapman
DIRECTOR

JJC:sml

Encl.
4479.021

42 Egmont Street
P.O. Box 585
New Plymouth
New Zealand
Phone (06) 758-7273
Fax (06) 758-6307

Chapman Oulsnam Speirs Limited

ENGINEERS AND ARCHITECTS

Our Ref: 4479

Page 1 of 2

20 June 1996

Building Consents Manager
New Plymouth District Council
Private Bag
NEW PLYMOUTH

ATTENTION : MR T. HUGHES

Dear Sir

RE: WRIGHT DWELLING
1 DONNELLY STREET, OAKURA

Further to request from New Plymouth District Council Inspectorate we have inspected the partially completed dwelling and comment as follows re concerns of moisture protection.

Several areas have been identified and we comment accordingly.

- 1) **Roof** - the existing structure of 150x50 @ 900 spanning 4.5m is typical farm construction.

Remedial

- Renew roofing over breather type roofing underlay on netting.
- Solid block purlin midspan to ensure alignment under uplift.
- Prop King post of central truss with wall framing.
- Suspend all ceiling framing from walls
Generally 100x50 @ 600, with 150x50 ceiling runners @ 2.4m crs/span 3.6m.
- Refer Chapman Oulsnam Speirs Ltd drawing 4479/1.

- 2) **Wall Framing**

- Nogs needed @ 800mm.
- Confirm all lintels NZS3604/drawings.

3) **Exterior Water Proofing**

- Underlap of Harditex and slab is potentially a long term problem. Refer Chapman Oulsnam Speirs Ltd drawing re proper lap of building paper/flashing and anti puddling chamfers.

4) **Ground Clearance**

Existing slab is outside NZS3604 requirements of 225mm clearance from unpaved ground/floor level.

Remedial

Lower ground for 2m away from building to provide min. 225mm. Enhance drainage with 600 deep x 200 trench filled to surface with metal and 100Ø novaflo to independent soak hole (not connected to roof) to prevent ponding.

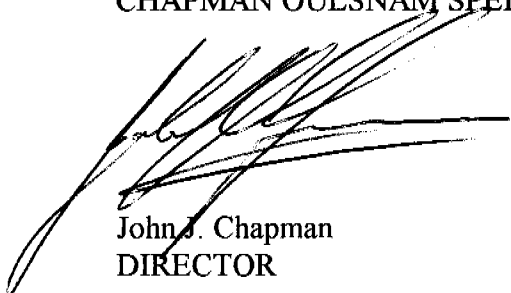
Applicability

This report refers to specific items and is not intended to represent a complete inspection or vetting of owners permitted plan or as built construction.

No liability can be accepted or consent implied of any items other than those identified in this report or attached drawings.

If you require further assistance with this please do not hesitate to call.

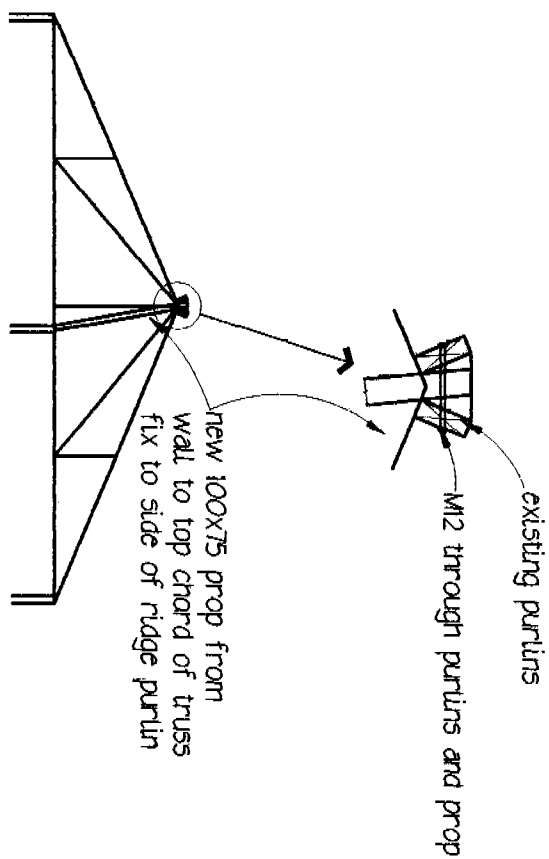
Yours faithfully
CHAPMAN OULSNAM SPEIRS LTD



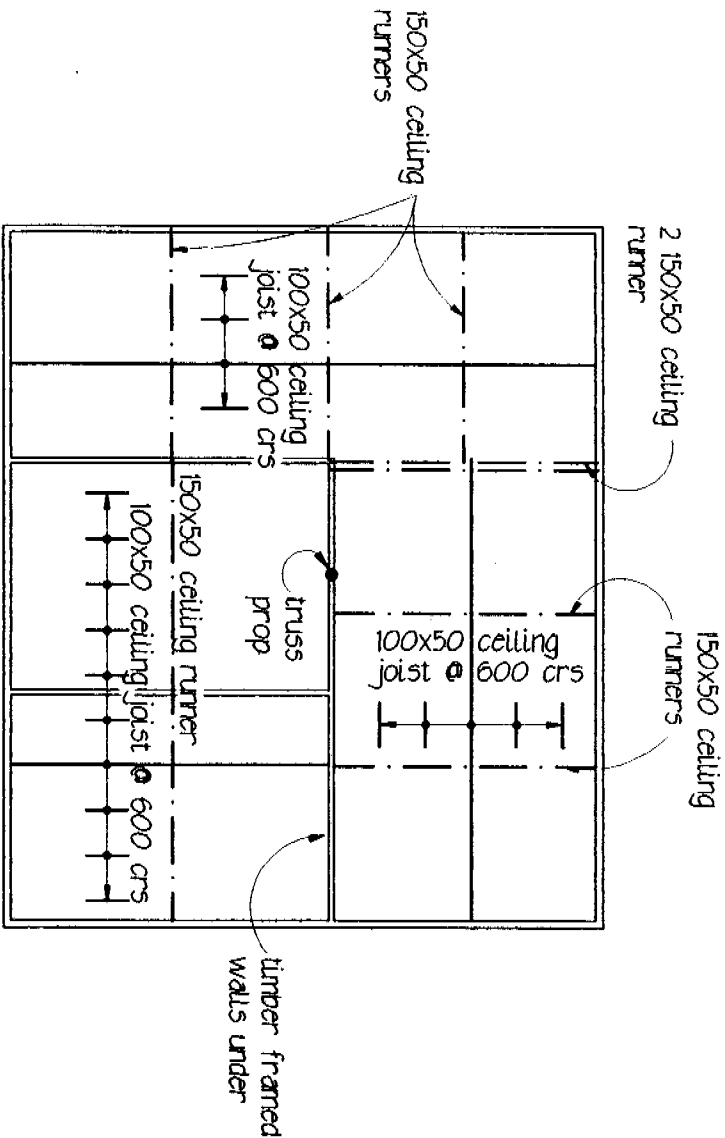
John J. Chapman
DIRECTOR

Encl.

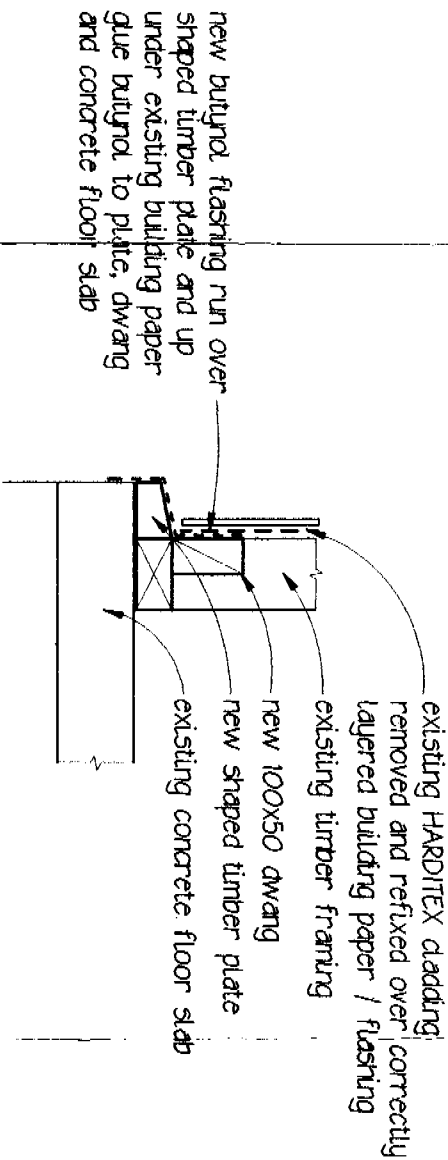
JJC/lw
4479.01L



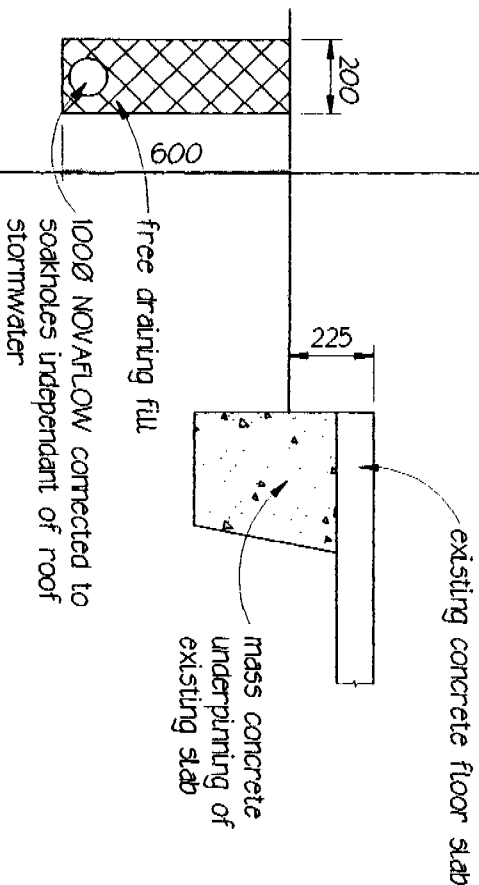
TRUSS PROPPING DETAIL 1:100



CEILING FRAMING PLAN 1:100



WALL WEATHERING DETAIL 1:10



FOUNDATION UPGRADING 1:20

OFFICE COPY

PLANS AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERAGE AND CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACTS AND REGULATIONS AND BY-LAWS ADMINISTERED BY THE NEW PLYMOUTH DISTRICT COUNCIL.

APPROVED:

DATE

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE NEW PLYMOUTH DISTRICT COUNCIL.

AMENDMENT

NOTES

1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE & JOURNALS COMMENCING ANY WORK SHALL BE PREPARED BY SHOP DRAWINGS

19 AUG 1996

Chapman Oulsnam Speirs Limited Engineers & Architects

42 BROMPTON STREET P.O. BOX 585 NEW PLYMOUTH NEW ZEALAND PHONE 06-759 7273 FAX 06-758 8397 AGENZ

MR WRIGHT

REMEDIAL WORKS EXISTING DWELLING 1 DONNELLY ST OAKURA

REMEDIAL DETAILS

Scale	1:100, 1:20	21/6/96
Drawn	GE. FLAING	
Designed	LL. CHAPMAN	
Checked		

PROJECT No.	4479	Sheet	S1
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6 June 1995

PU.280/PVB

Mr R A Wright
127 Pitcairn Street
OAKURA

Mr Tipler
File: BC9708/9709
Prop.ID:005775

Dear Sir

RE: DWELLING - 1 DONNELLY STREET OAKURA

I acknowledge receipt of your application dated 30 MAY 1995, for a Building Consent to erect a **DWELLING** at 1 **DONNELLY STREET, OAKURA, BEING LOT 1, DP 17213**, but have to advise that the plans and specifications submitted do not fully comply with the Building Code and/or other legislation governing the erection of buildings and that the consent will be withheld until amendments or additional information covering the following matters is submitted.

BUILDING

ANALISE BRACINGS ✓
BRACING CALCULATIONS TO NZS 3604 : 1990 ARE TO BE PROVIDED AND A FULL BRACING LAYOUT PROVIDED.

✓ **A CROSS-SECTION SHOWING FULL CONSTRUCTION DETAILS INCLUDING TIMBER SIZES AND SPACINGS WITH LINTEL DIMENSIONS AND MOISTURE BARRIERS.**

on site ✓ **OUR RECORDS SHOW THE BUILDING TO BE SUPPORTED ON ISOLATED CONCRETE FOOTINGS WITH NO CONCRETE FLOOR SLAB.**

IND ✓ **PROOF THAT THE VAPOUR BARRIER EXISTS WILL BE REQUIRED.**

Develon Brickwork ✓ **STRUCTURAL CALCULATIONS ARE TO BE PROVIDED TO SUPPORT THE USE OF ANY EXISTING FOUNDATION FOR THE BRICK VENEER CLADDING.**

On receipt of this information further consideration will be given to the application and if found to be satisfactory the consent will be issued on payment of the required fees.

Council Officers will be pleased to provide assistance if required.

Yours faithfully

N I Morris
SENIOR CONSENTS OFFICER : APPROVALS

7

RECEIVED

9708/9709

APPLICATION FOR BUILDING CONSENT.

R.A.WRIGHT.
1 DONNELLY ST.
OAKURA.

LOT 1
DP 17213
BLOCK 2
WAIRAU SD
AREA 4275 m2

THE PROPOSED CONVERSION OF AN EXISTING FREE STANDING METAL RSJ BUILDING INTO A DWELLING (GRANNY FLAT) FOR MY PARENTS WHO ARE NOW IN THEIR SEVENTIES AND WILL SOON REQUIRE CLOSE SUPERVISION AND ASSISTANCE.

THE BUILDING HAS BEEN MOVED BACK ON THE PROPERTY ONTO A CONCRETE SLAB THAT HAS BOTH REINFORCING AND POLYTHENE AS PART OF THE CONSTRUCTION AND HAS CONCRETE POURED TO A DEPTH OF 100mm.

THE METAL FRAME HAS BEEN ANCHORED TO 6 METAL PLATES FIXED TO m3 CONCRETE ANCHOR BLOCKS.

THE FOUNDATIONS WERE SUBJECT TO A PERMIT ISSUED IN 1992/3.

STORM WATER WILL BE SPOUTED TO THE FRONT OF THE DWELLING AND INTO A SOAK HOLE.

SEWERAGE AND WASTE WATER WILL BE PIPED TO AN EXISTING SEPTIC TANK INSTALLED ON 23/5/95.

FIBREGLASS INSULATION BATTS TO THE REQUIRED STANDARD WILL BE FITTED TO WALLS AND CEILINGS.

WINDOWS DUE TO THE METAL FRAMING WILL MAKE UP 26% OF AVAILABLE WALL SPACE.

IT IS PROPOSED THE BUILDING WILL BE CONVERTED IN 3 STAGES.

- 1) THE FRAMING WINDOWS AND CLADDING.
- 2) THE ABLUTIONS AREA AND PLUMBING.
- 3) THE INTERNAL LININGS AND INSULATION.

ALL ALTERATIONS TO BE DONE BY TRADESMEN CARPENTERS AND PLUMBERS.

R.A.WRIGHT.



RA. WRIGHT

CONR UPPER WICHAIR + DONNELLY STS.

RECEIVED

9 10 MAY 1995

9708/9709

Y STREET

20.12 Wide

202'

32'

30'

(86.48)

52.33

34.15

1050m²

30.80

SOAK HOLE
FOR
SEWAGE

SHEDS

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

CT A1/65

NEW SECTION

SEWER LINE

EXISTING SECTION

2' 30' 34.15

4275m²

CT H4/622

22.33

210'

19

30'

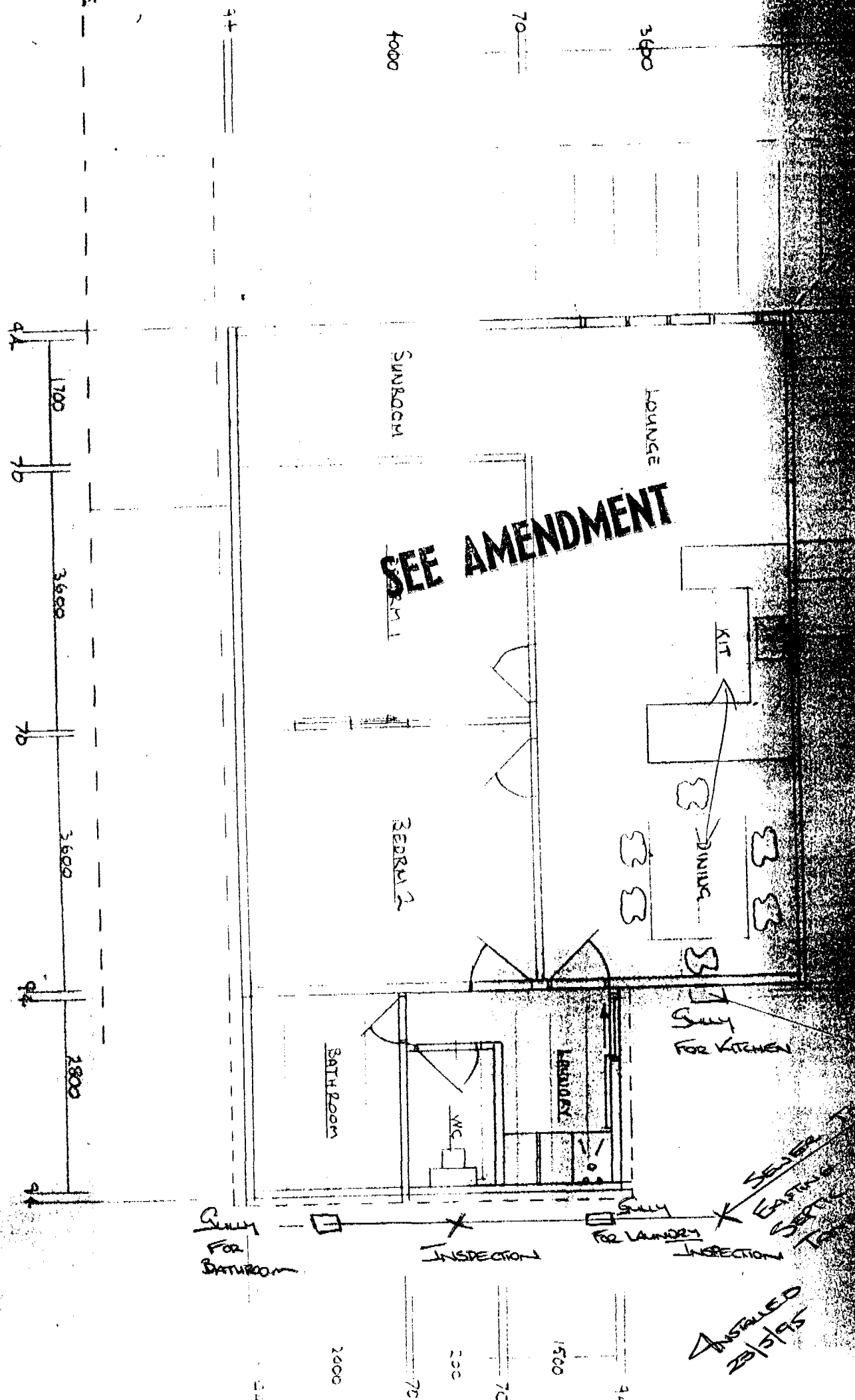
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NEW PLYMOUTH DISTRICT COUNCIL
PLANS AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERAGE
AND CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACTS
REGULATIONS AND BY-LAWS ADMINISTERED BY THE NEW PLYMOUTH
DISTRICT COUNCIL.

PLANNING	DATE
PUBLIC HEALTH	
BUILDING	

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF
THE NEW PLYMOUTH DISTRICT COUNCIL AND MUST BE KEPT
ON SITE.



SEWER TO
EASTING
SEPTIC
TANK

INSTALLED
23/5/95

SEE AMENDMENT

COLLECTED FROM ROOF

200000 000000 000000

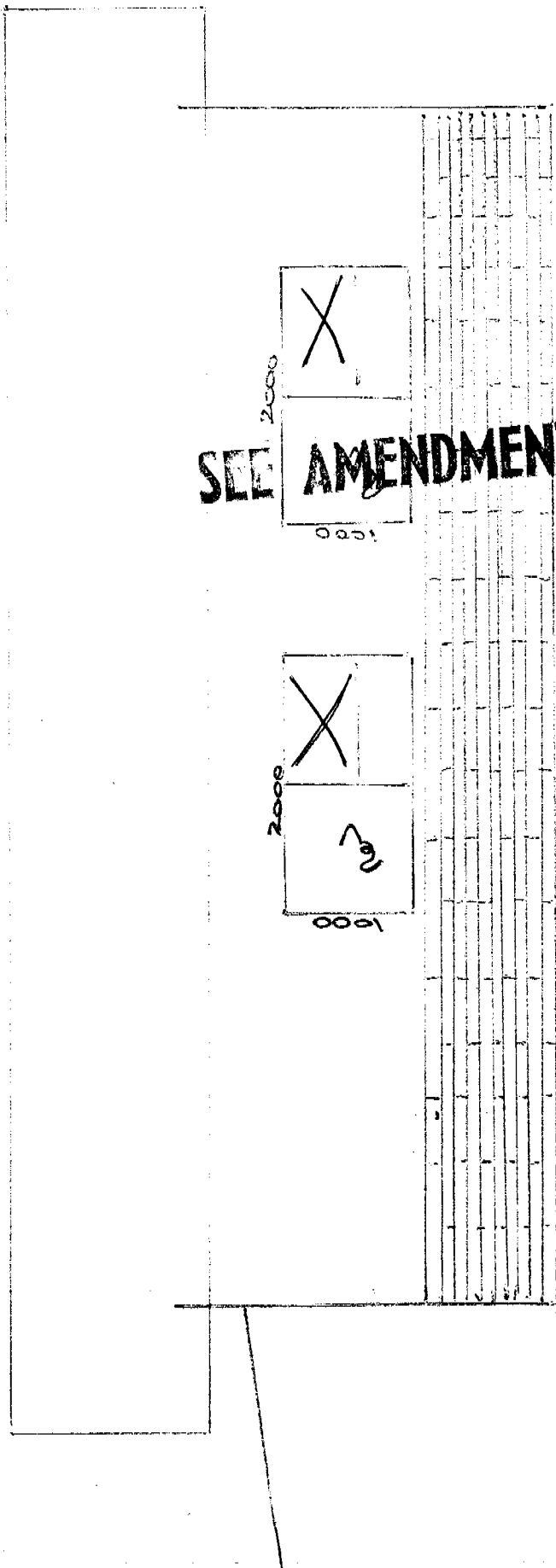
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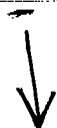
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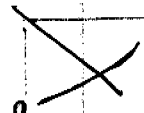


SEE AMENDMENT



800

2500



1500

1400



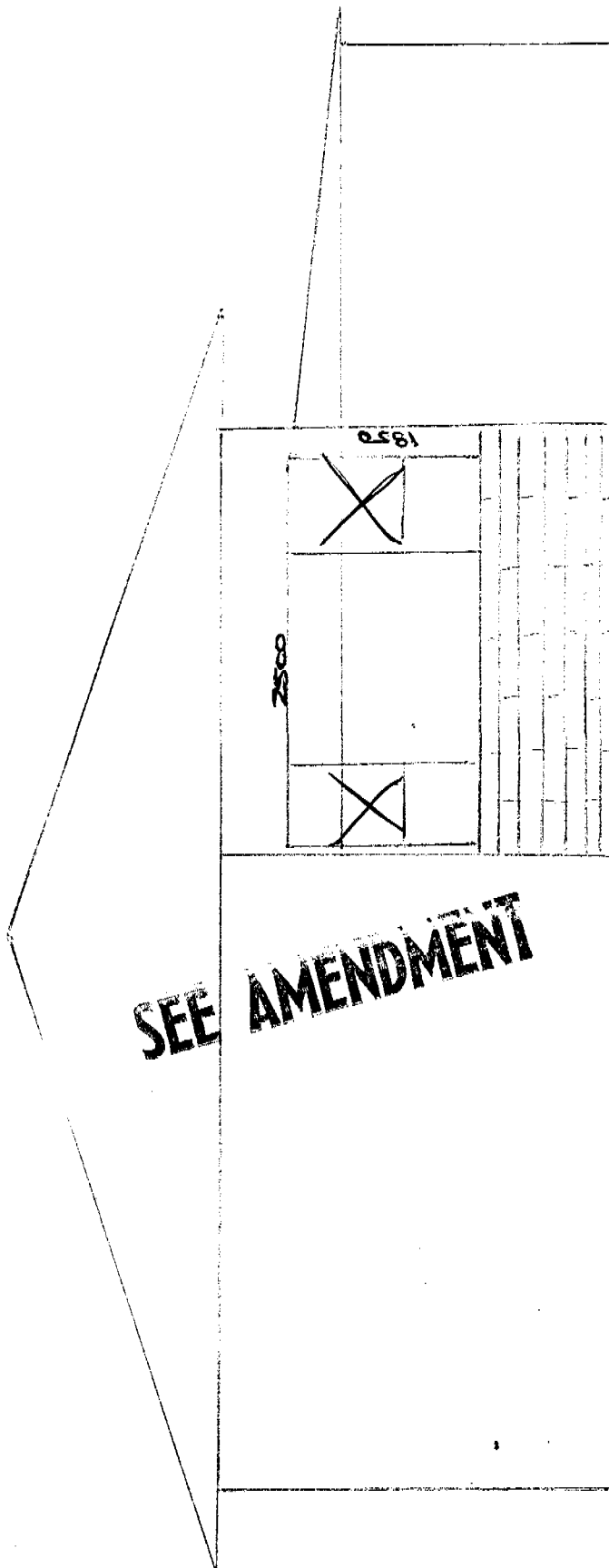
1500

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East

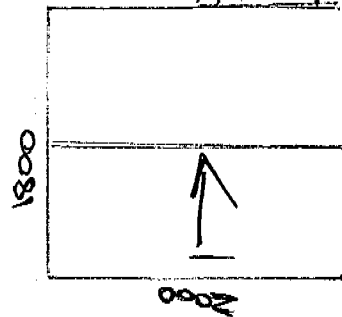
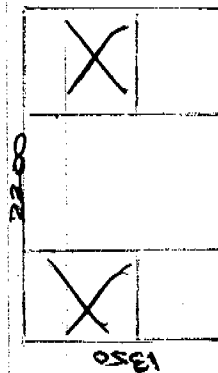
1/2

Back



FRONT

SEE AMENDMENT



Please show the following on submitted site plan:

1) Ordinance 4.6 - Parking

minimum number of parking spaces required per dwelling

Unit is two - show for existing + proposed dwelling

2) Ordinance 4.7.5

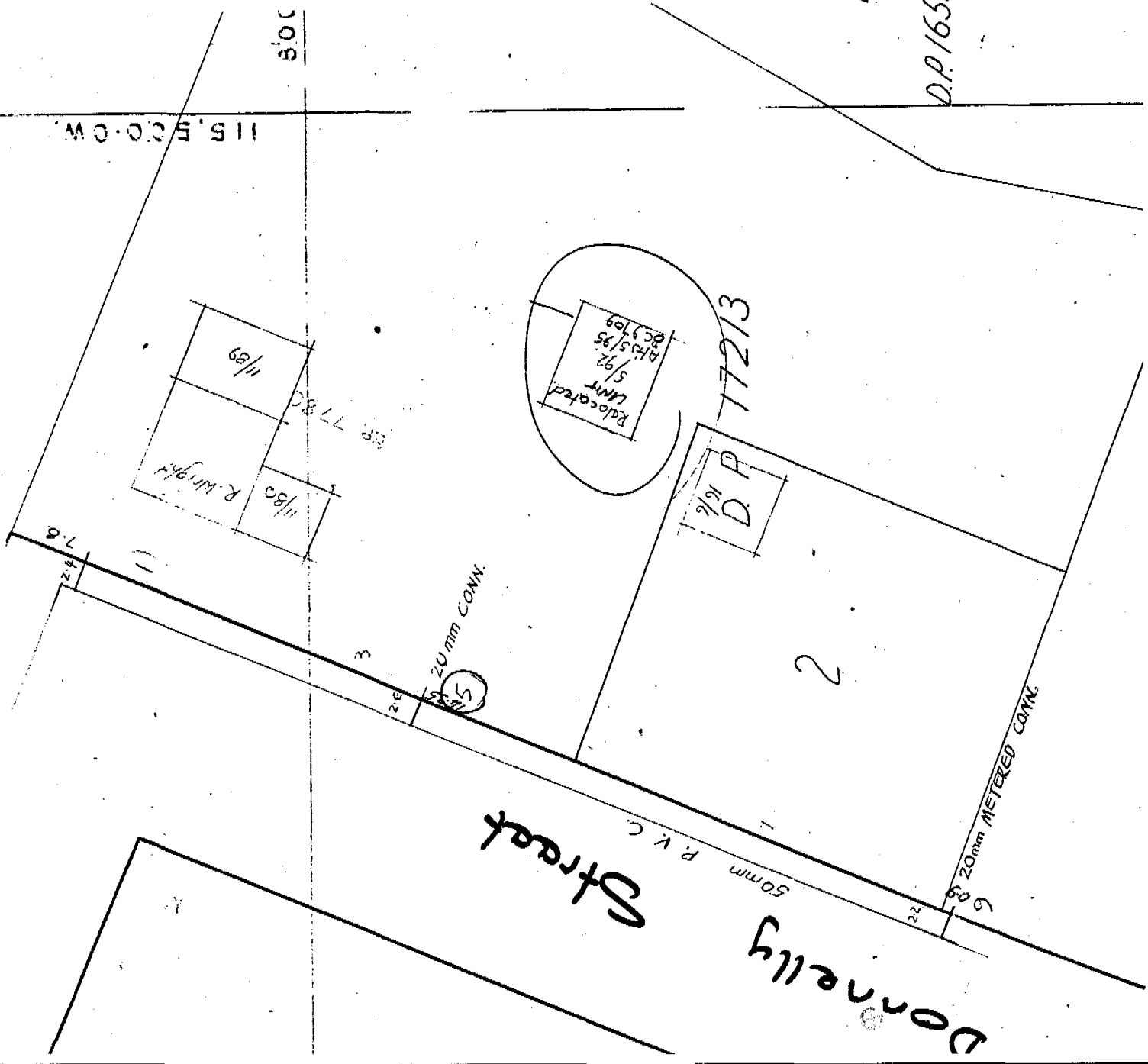
The carriageway on every vehicle access shall be formed

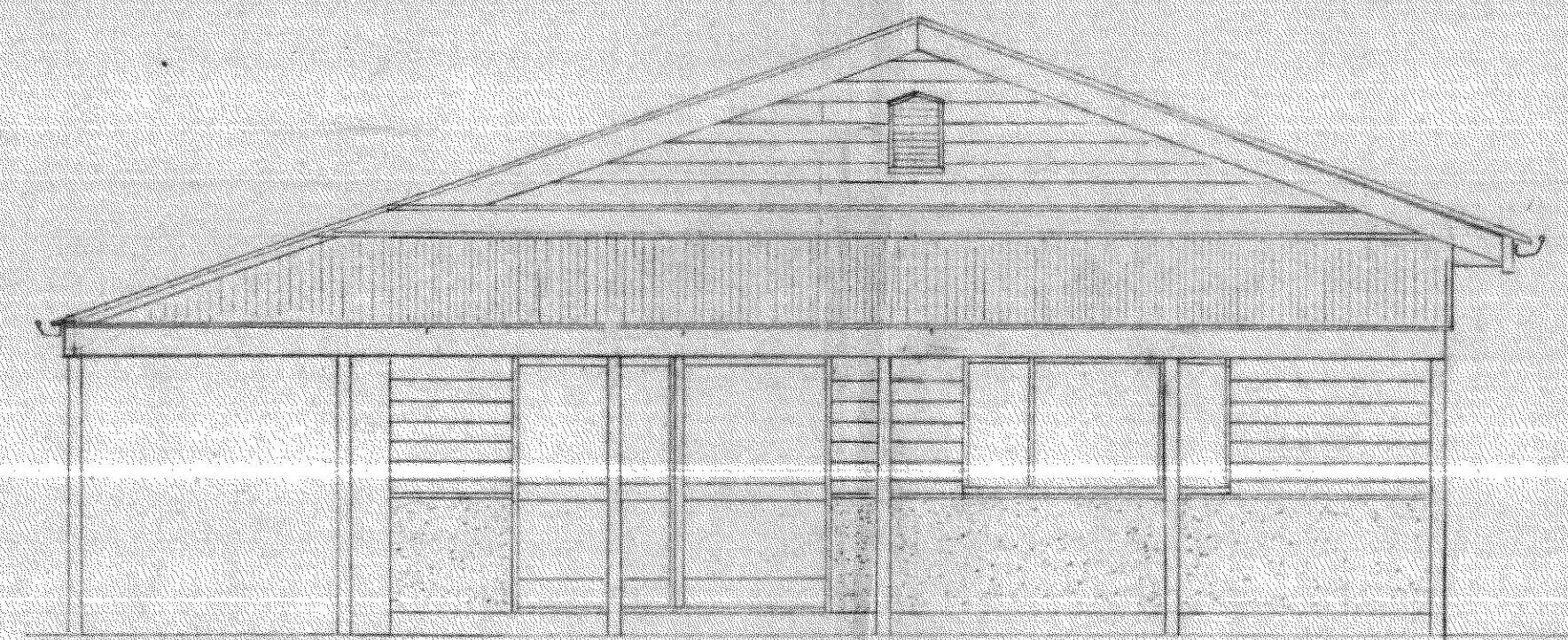
to the following minimum standards

a) Serving up to two dwelling units

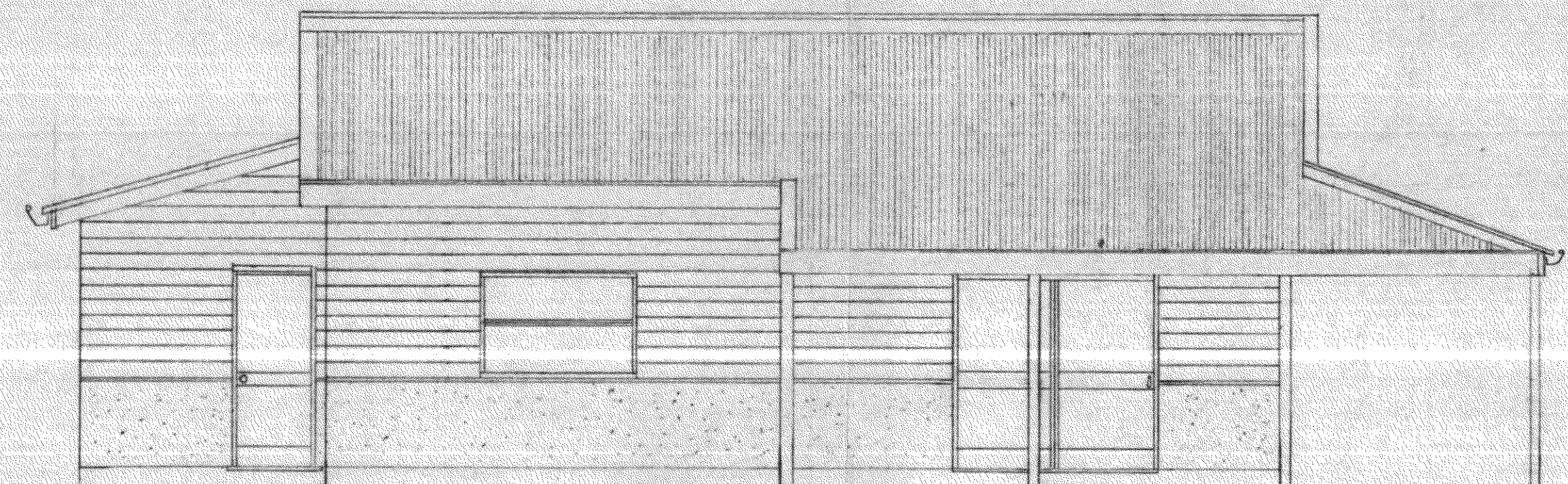
width 3meters

gradient no greater than 1 in 5

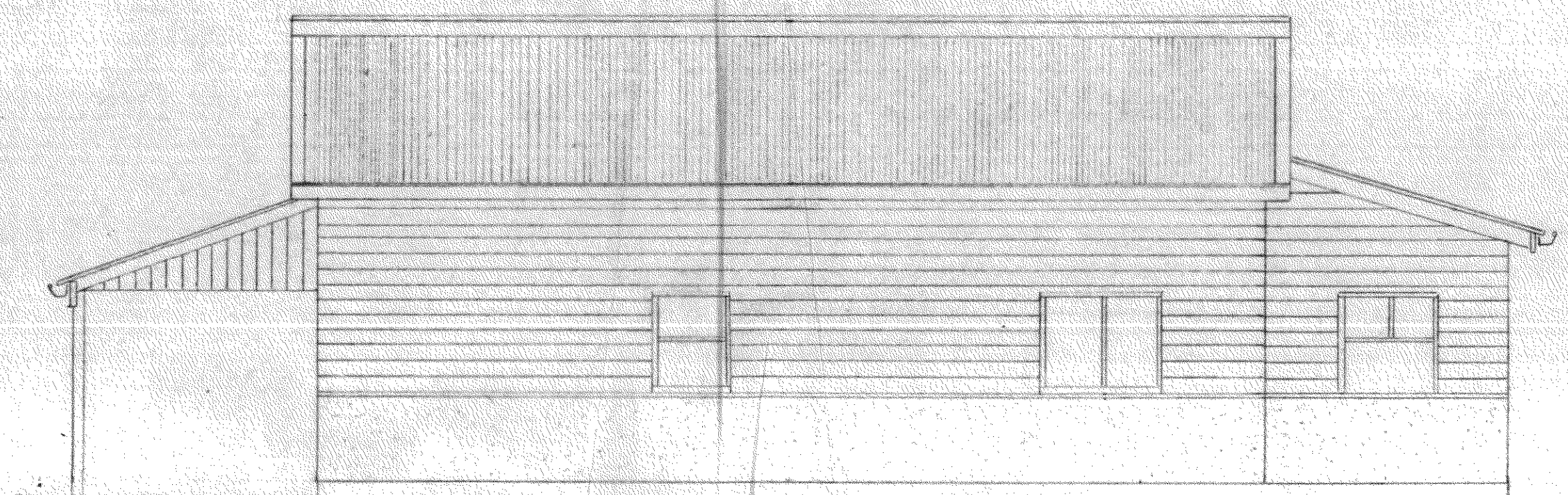




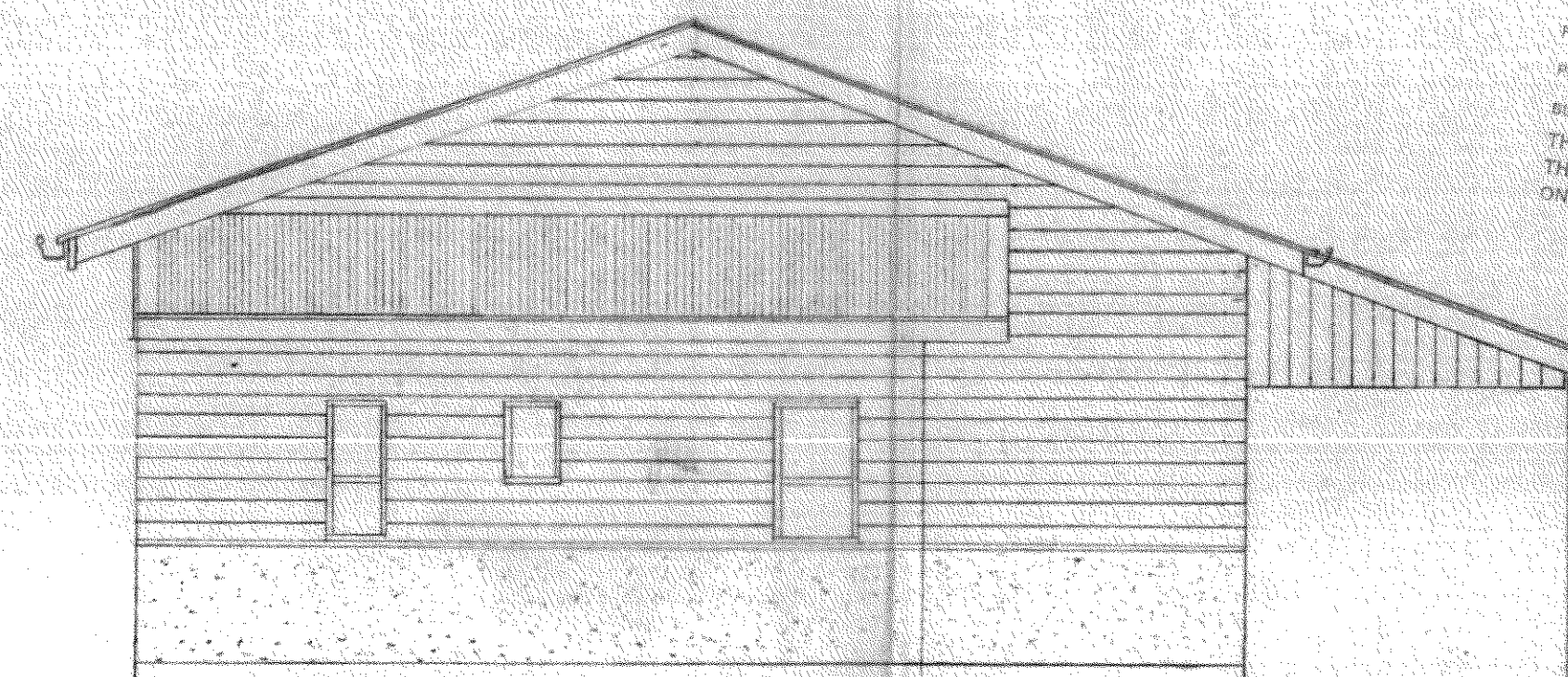
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

NEW PLYMOUTH DISTRICT COUNCIL
PLANS AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERING,
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DISTRICT COUNCIL.
PLANNING
PUBLIC HEALTH
BUILDING
THESE PLANS AND SPECIFICATIONS ARE
THE NEW PLYMOUTH DISTRICT COUNCIL
ON SITE.

DATE
12-6-95

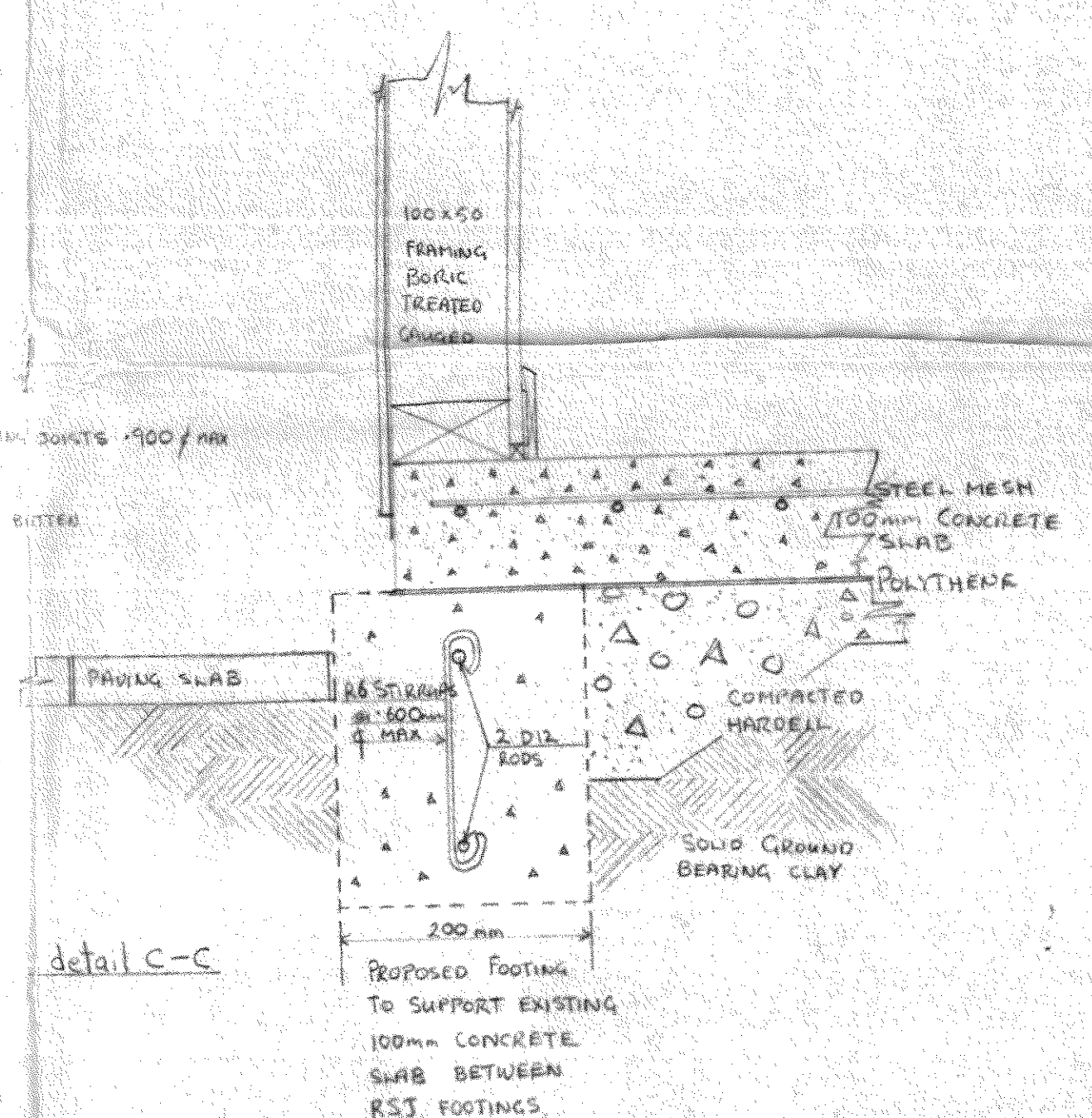
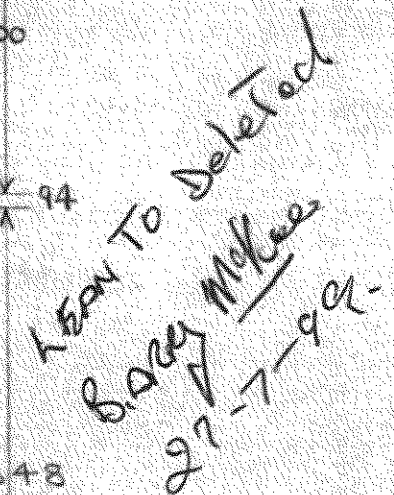
AMENDMENT

ELEVATIONS : PROPOSED DWELLING FOR REX WRIGHT
1 DONNELLY ST OAKURA

ATTENTION : MR. N.I. MORRIS
MR. TIDLER

SHEET
1

DRAWN FISHER	CHECKED	SCALES 1:50	SERIES OF 2
TRACED	DATE 10-6-95		REF



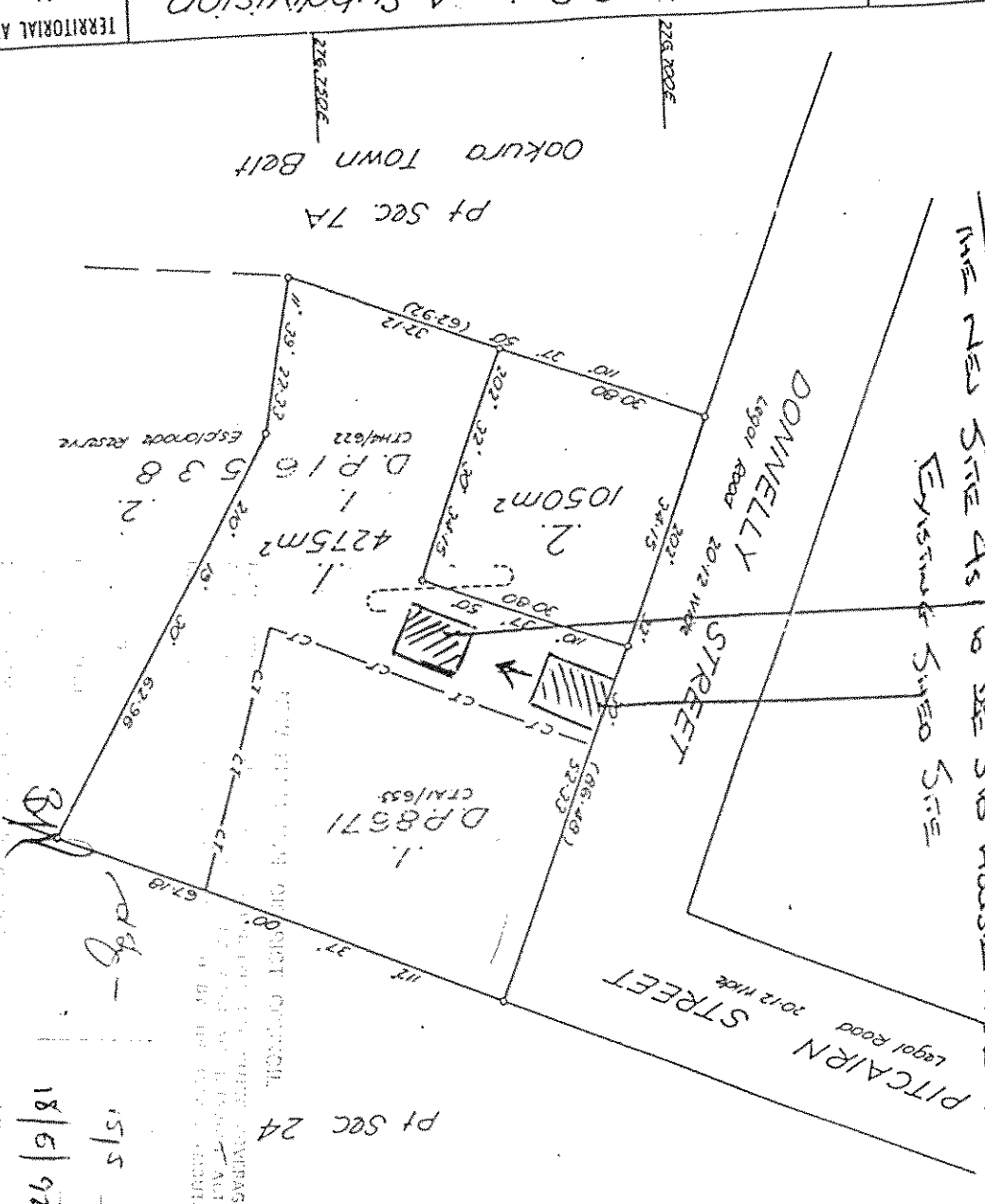
and
her

14 MAY 1992

5
100

* ROBESON SITE A WAS DISCLOSED BEHIND
ROBERTSON SITE AND A WAS FROM THE BOUNDARY
OF LOT 2 THE SUEO HEIGHT OF THE SUEO ON
THE NEW SITE AS TO BE SUEO HOUSE IDENT.

EXISTING SUEO SITE



Lots 1 and 2 Being A Subdivision
of Lot 1 D.P. 16538 & Lot 1 D.P. 8671.

Surveyed by P. DICKEY
Scale 1: 500
Date AUGUST 1991

LAND DISTRICT
Survey Blk. & Dist. 11 WAIKATO
TARANAKI
MAS 261 Sheet P19 Record Map No. 53

Approved as to Survey
Chief Surveyor
Day of Oct 1991

Reference Plans
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